

Item No :- 01

20/03559/FUL

**Priory Estate
Poulton
Cirencester
Gloucestershire
GL7 5JB**

Item No :- 01

Erection of an integral annexe, entrance hall, rear kitchen extension and underground parking area at Priory Estate Poulton Cirencester Gloucestershire GL7 5JB

Full Application 20/03559/FUL	
Applicant:	Jackson
Agent:	Eric Cole Ltd
Case Officer:	Harrison Bowley
Ward Member(s):	Councillor Lisa Spivey
Committee Date:	14th September 2022
RECOMMENDATION:	REFUSE

1. Main Issues:

- (a) Design and Impact on Host Dwelling
- (b) Impact on Listed Structures
- (c) Impact on Residential Amenity
- (d) Ecology and Biodiversity

2. Reasons for Referral:

2.1 The Ward Member, Councillor Spivey, referred the application to be determined by the Planning and Licensing Committee for the following reasons:-

"(1) The public benefits to maintaining and enhancing this NDHA outweigh any potential harms. These benefits include the reinstatement of traditional materials which will enhance the overall aesthetic of the farmhouse and be far more in keeping with Cotswold vernacular, and the hugely increased energy efficiency which will reduce carbon emissions and make the building viable for modern living and massively impact the carbon footprint of this building.

(2) The suggested alterations to the property will make this a long term viable building for multi-purpose, multi-generational use and this very positive aspect should be accorded more weight."

3. Site Description:

3.1 The application site consists of a detached, three storey dwelling located to the south west of the village of Poulton. The property lies to the south of the Priory Court complex, sharing an access with the collection of converted barns and nearby dwellings. To the immediate north of the site lies St Mary's Churchyard, which contains a collection of listed tombs.

3.2 The host dwelling is of an historic nature and traditional vernacular design and owing to its historic and architectural merit, has been identified as a non-designated heritage asset.

3.3 The site is not subject to any other heritage or landscape designations.

4. Relevant Planning History:

4.1 04/01492/FUL - Change of use of agricultural building to form ancillary accommodation in association with Priory Farmhouse - Permitted 26/08/2004.

5. Planning Policies:

TNPPF The National Planning Policy Framework

EN1 Built, Natural & Historic Environment

EN2 Design of Built & Natural Environment

EN4 The Wider Natural & Historic Landscape

EN7 Trees, Hedgerows & Woodlands

EN8 Bio & Geo: Features Habitats & Species

EN12 HE: Non-designated Heritage Assets

6. Observations of Consultees:

6. Conservation Officer: Comments incorporated within Officer's report.

7. View of Town/Parish Council:

7.1 Poulton Parish Council: No objection, "but the Council feels that the dormer windows on the north elevation are incongruous with the current appearance of the rooves [sic]. Velux windows would be preferable as this side of the building is clearly viewable from Parish (public) land (the old Priory Graveyard)."

8. Other Representations:

8.1 None received.

9. Applicant's Supporting Information:

Design & Access Statement

Ecological Impact Assessment Report

10. Officer's Assessment:

10.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that 'If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.'

10.2 The starting point for the determination of this application is therefore the current development plan for the District, which is the adopted Cotswold District Local Plan 2011 - 2031.

10.3 The policies and guidance within the revised National Planning Policy Framework (NPPF) are also a material planning consideration.

Background and Proposed Development

10.4 The application proposes a series of alterations to the dwelling, including the erection of an integral annexe, entrance hall, rear kitchen extension and underground parking area. The parking area to the front would be set over two levels, with a lower driveway accessing two car ports on the lower ground floor, set 2.4m below the raised paving and garden, which would be set behind a 2.7m tall curved retaining wall set beside a new turning circle.

10.5 The proposed extension to the front of the dwelling would raise the ridge heights of the stepped northern wing, and form a lower ground floor within the most eastern part of the wing. The easternmost section of the east wing would be raised 2.6m in ridge height, with a ridge and eaves of 9.3m and 6.1m respectively. The middle section of the eastern wing would be raised by around 0.6m, with the eaves raised by around 0.8m.

10.6 To the front of the dwelling, the existing porch would be replaced with a two-storey gable, projecting 2.2m with ridge and eaves of 8.8m and 5.4m respectively. To the rear, a single storey, flat roof addition would be added, projecting 5m and spanning a width of 6.5m, with a ridge of 2.9m. A series of dormer windows are also proposed on the roof slopes along with alterations to the fenestration.

(a) Design and Impact on Character and Appearance of Dwelling

10.7 Local Plan Policy EN2 supports development which accords with the Cotswold Design Code and respects the character and distinctive appearance of the locality.

10.8 Local Plan Policy EN12 requires development affecting a non-designated heritage asset to be designed sympathetically, having regard to the significance of the asset, its features, character and setting. Where possible, development should seek to enhance the character of the non-designated heritage asset. Proposals for demolition or total loss of a non-designated heritage asset will be subject to a balanced assessment taking into account the significance of the asset and the scale of harm or loss. This policy also sets out criteria for assessment of whether a site, feature or structure is considered to be a non-designated heritage asset.

10.9 NPPF Section 12 requires good design, providing sustainable development and creating better place to live and work in. Paragraph 130 states decisions should ensure that development would function well and add to the overall quality of the area, not just for the short term but also over the lifetime of the development. Development should be visually attractive as a result of good architecture, layout and appropriate and effective landscaping, which are sympathetic to local character and history maintaining a strong sense of place.

10.10 Section 16 of the NPPF (2018) seeks to conserve and enhance the historic environment.

10.11 The host building is formed of a number of distinct elements, resulting in a building with a clear evolution from its historic origins. The building is present on mapping dated 1843 - 1893, however, and elements of the building, including the northern part, appear to date from far earlier, likely to the late 16th - early 17th century. This section of the building is

therefore of historic significance. The northern section comprises an L-shaped link, which retains cavetto-moulded, mullioned windows - a two-light window on the north, and a three-light window above the entrance to the west. These mullion windows appear to be historic in situ. An additional wing continues to the west which, by virtue of its form and fenestration pattern, likely formed an ancillary, quasi-agricultural use, such as a stable and hayloft. This element is also likely to be historic, forming part of an agricultural yard, although altered somewhat in the 20th century. The most western portion of the wing forms a single storey garage, which contains historic fabric within the north and west elevations. This section is also present on historic OS mapping and also likely formed an historic ancillary outbuilding. The northern wing is therefore of historic significance, and the agricultural character and evolution of the building remain apparent through the characteristic fenestration and stepped profile within the existing construction. The wing also forms a visually attractive feature within the landscape and the rural setting of the building. It is noted that the southern block of the house appears to be of less significance, appearing to have been substantially rebuilt in the 20th century with limited retained historic fabric.

10.12 Local Plan Policy EN12 sets out criteria within Table 6, which can be used to determine whether a building constitutes a non-designated heritage asset and is based on guidance produced by Historic England. The supporting text for EN12 outlines in paragraph 10.12.1 that non-designated heritage assets will continue to be identified as part of the planning application process and will be given appropriate consideration. The policy also outlines that a building does not have to meet all of the relevant criteria in order to be identified as an asset. In this instance, the building is of historic interest and of some age, has aesthetic merits in its retained character and is representative of the districts distinctive vernacular architecture. The building is therefore considered to constitute a non-designated heritage asset and Local Plan Policy EN12 is of relevance to the proposal.

10.13 The application proposes the substantial alteration of the existing dwelling, most notably to the western sections of the northern wing and to the front parking area. The alteration to the northern wing would result in the raising of the ridge of the western and central sections. Whilst the stepped roof profile would be retained, the steps would be reduced in scale, diminishing the character and visual subordination of this section of the building, which currently gradually falls away through the cascade of roof forms. The wing would no longer resemble a series of ancillary agricultural outbuildings, but instead a more substantial, overly domestic and dominant feature. This would diminish and erode the retained agricultural character of the building and, would therefore detrimentally impact the significance of the non-designated heritage asset.

10.14 The scheme also seeks to introduce a two-storey extension to the front, replacing the existing porch with a structure of a more generous scale. The proposed addition will incorporate stone wall treatments, but will introduce a contemporary glazed roof. The gable would appear out of keeping with the host dwelling, overwhelming the elevation and most notably the historic 'L-shaped' wing of the building. The feature would therefore visually compete with this section of the dwelling by virtue of its scale and form. The proposed glazed roof would appear at odds with the vernacular design of the host dwelling, and would achieve neither an 'in keeping' traditional design or a convincing contemporary addition.

10.15 Significant concerns also arise from the proposed parking area, which would see the front garden and driveway set over two levels separated by a 2.7m tall retaining wall. The resultant area appears heavily engineered, with a significantly reduced land level when viewed

from the west and introduction of a substantial retaining wall. This element of the scheme will further erode the rural setting of the building, harming the character and significance of the non-designated heritage asset.

10.16 The proposed single storey rear extension, whilst incorporating a disproportionate level of glazing, would be of a subservient and sympathetic appearance. The addition would be to the less significant section of the dwelling and would incorporate a clearly contemporary design approach that would distinguish itself from the host dwelling and, as a result, would not compete with the existing building.

10.17 Overall, therefore, the proposed development would result in harm to the significance of the non-designated heritage asset, by eroding the agricultural character and resulting in an unsympathetic form of development. A number of public benefits have been put forward as part of the development, including improvements in energy performance and biodiversity enhancements, as well as improvements to the design of the building itself and these are assessed as follows.

10.18 Biodiversity enhancements have been proposed (as will be addressed in full detail in a later section of this report), but Local Plan and National policies set a requirement for opportunities of biodiversity enhancements as part of new development. The level of enhancement proposed would not exceed this policy requirement and, as such, would in any event normally need to be achieved as part of any development, including a potentially more sympathetic form. Similarly, the enhancements to the energy performance, whilst important, are not inherently tied to the present harmful design. No evidence has been submitted to demonstrate that a more sympathetic design could not also provide comparable benefits and the provision of this benefit would therefore not justify the harm identified. Finally, a number of 'elevation enhancements' have been put forward. Whilst some of the improvements are welcomed, the design of the proposed front extensions would not be in accordance with the Cotswold Design Code, which requires extensions to respect the scale, proportions, materials and character of the building and as such, would not constitute an enhancement in its currently proposed form.

10.19 Overall, it is therefore considered that the proposed development would result in harm to the significance of the non-designated heritage asset. The harm identified would not be outweighed by any enhancements or public benefits and as such; the scheme would be contrary to Local Plan Policies EN2 and EN12 of the Cotswold District Local Plan and Sections 12 and 16 of the NPPF.

(b) Design and effect on a Listed Building

10.20 Priory Farm lies within close proximity to, and within the setting of a number of listed tombs within the graveyard immediately to the north of the house. The Local Planning Authority is therefore statutorily required to have special regard to the desirability of preserving the building, its setting, and any features of special architectural or historic interest it may possess, in accordance with Section 66 (1) of the Planning (Listed Building and Conservation Areas) Act 1990.

10.21 Cotswold District Local Plan Policy EN10 'Historic Environment: Designated Heritage Assets' states that in considering proposals that affect a designated heritage asset or its setting, great weight should be given to the asset's conservation. Development proposals that sustain

and enhance the character, appearance and significance of designated heritage assets (and their settings), and that put them to viable uses, consistent with their conservation, will be permitted. Proposals that lead to harm to the significance of a designated heritage asset or its setting will not be permitted, unless clear and convincing justification of public benefit can be demonstrated to outweigh that harm.

10.22 The application site is bordered to the north by St Mary's Churchyard, which contains a number of listed tombs that are designated heritage assets. Part of the setting of the churchyard and tombs is formed by the northern wing of Priory Farm, which forms an appropriately rural backdrop to the heritage asset. Whilst the development will result in an increase in the domestication of the building, this will retain the same level of separation with the northern elevation remaining relatively blank from additional fenestration, with the exception of some modest rooflights. Subsequently, the development is considered not to harm the setting of the listed tombs.

(c) Impact on Residential Amenity

10.23 Local Plan Policy EN2 refers to The Design Code (Appendix D) which sets out policy with regard to residential amenity. This expects proposals to respect amenity in regards to garden space, privacy, daylight and overbearing effect. Section 12 of the NPPF requires good design with a high standard of amenity for existing and future users.

10.24 The proposed development would benefit from substantial separation from adjoining residential properties and as such, would not result in any overbearing impact, overshadowing or loss of light. Proposed windows would face into the plot or away from neighbouring dwellings and consequently, would not lead to any overlooking or loss of privacy.

(d) Biodiversity and Geodiversity

10.25 Local Plan Policy EN7 requires development to conserve and enhance natural assets likely to be affected, including trees, hedgerows, and woodland of high landscape amenity, ecological or historical value as well as veteran trees.

10.26 Local Plan Policy EN8 outlines that development will be permitted that conserves and enhances biodiversity and geodiversity, providing net gains where possible. Furthermore, it outlines that proposals that would result in the loss or deterioration of irreplaceable habitats and resources, or which are likely to have an adverse effect on internationally protected species, will not be permitted.

10.27 Section 15 of the NPPF also outlines that development should conserve and where possible enhance biodiversity and geodiversity and should not result in the loss or deterioration of irreplaceable habitats and resources.

10.28 The submitted ecological impact assessment has confirmed that a maternity roost of brown long-eared bats and day roosts of common and soprano pipistrelle are present at the site and would be lost as a result of the development. A compensatory bat loft will be accommodated within the development and details of this will be controlled through condition. The loss of the day roost would also be compensated, through the provision of four bat access tiles and two bat access ridge tiles. This will similarly be controlled through condition.

10.29 Biodiversity enhancements are proposed through the provision of four House Martin nesting cups and two bat boxes on nearby trees. The provision is considered to satisfy the requirements of Local Plan Policy EN7.

10.30 Overall, it is considered that the proposed development would be in accordance with Local plan Policies EN7 and EN8 and is acceptable in this regard.

Other Matters

10.31 The proposed development is not liable for a charge under the Community Infrastructure Levy (CIL) Regulations 2010 (as amended). This is because it is less than 100m² of new build that does not result in the creation of a dwelling, and therefore benefits from Minor Development Exemption under CIL Regulation 42.

11. Conclusion:

11.1 The proposed development would result in harm to the significance of a non-designated heritage asset by eroding the remaining agricultural character and overall resulting in an unsympathetic form of development. The harm identified would not be outweighed by any enhancements or public benefits. The scheme would therefore be contrary to Policies EN2 and EN12 of the Cotswold District Local Plan and Sections 12 and 16 of the National Planning Policy Framework and is recommended for refusal.

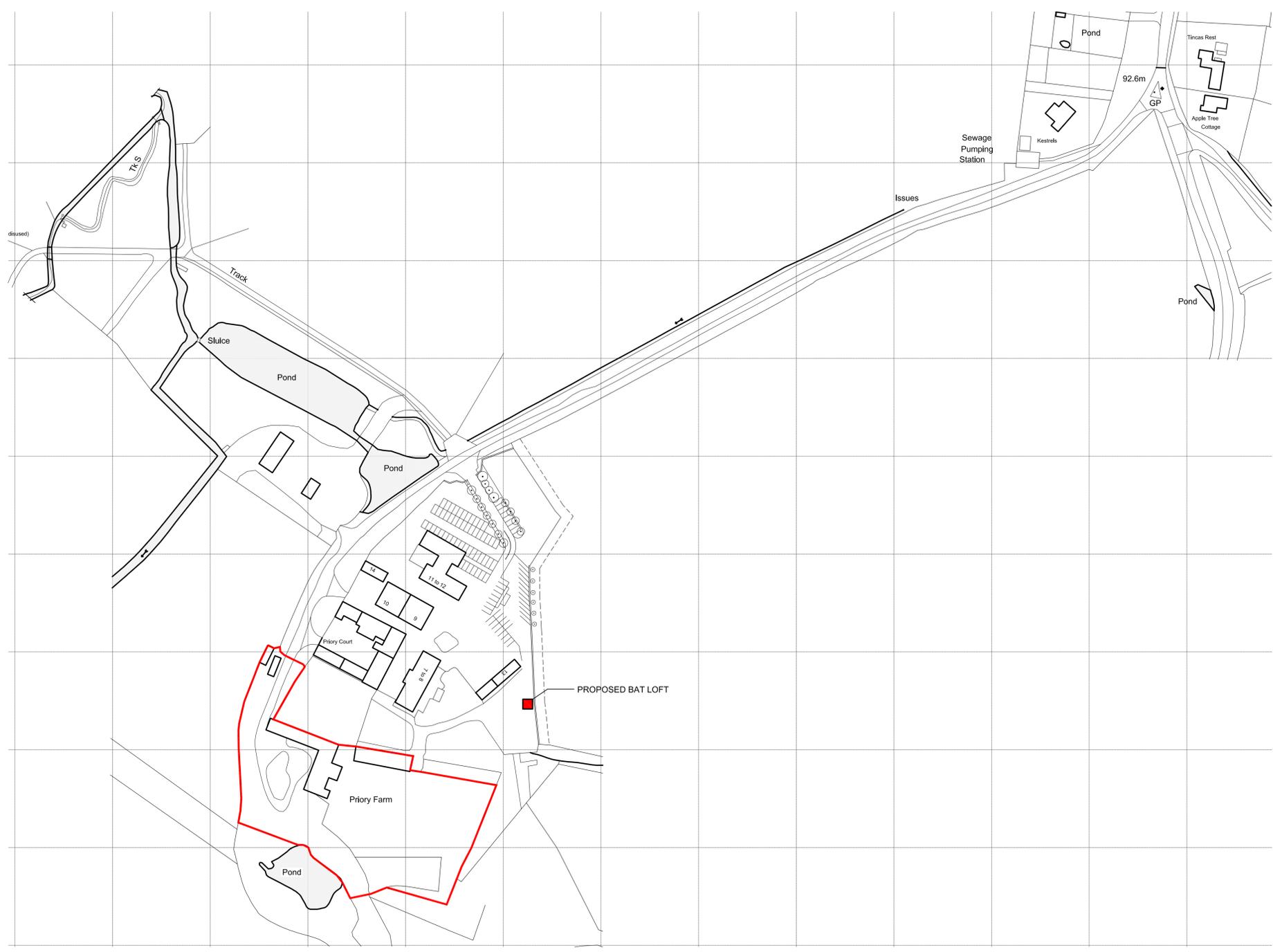
12. Reason for Refusal:

1. Priory Farmhouse has been identified as a non-designated heritage asset, by virtue of its historic interest, age, the aesthetic merits in its retained character, and is representative of the District's distinctive vernacular architecture. The significance of the building is primarily focussed on the northern wing, which retains much of the historic and architectural interest. The current proposal, by virtue of the loss of the west wall of the L-shaped building, and the cumulative impact of the other alterations including raising the roofs and excavating garages, would cause a level of harm disproportionate to the significance of the building as a non-designated heritage asset. Furthermore, the design of the proposed alterations, including the entrance and the subterranean garages would be uncharacteristic of the District and would conflict with the Cotswold Design Code. As such, the proposal conflicts with paragraph 203 of the NPPF, and the requirements of Sections 12 and 16 of the Framework. The proposal is also contrary to Cotswold District Local Plan Policies EN1, EN2 and EN12.

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PROJECT:	PRIORY FARM HOUSE		
DWG TITLE:	LOCATION PLAN		
SCALE:	1:1250@A1	DRAWN: JD	CHECKED:
DWG NO:	19.062.11	REV: A	DATE: SEP 2020

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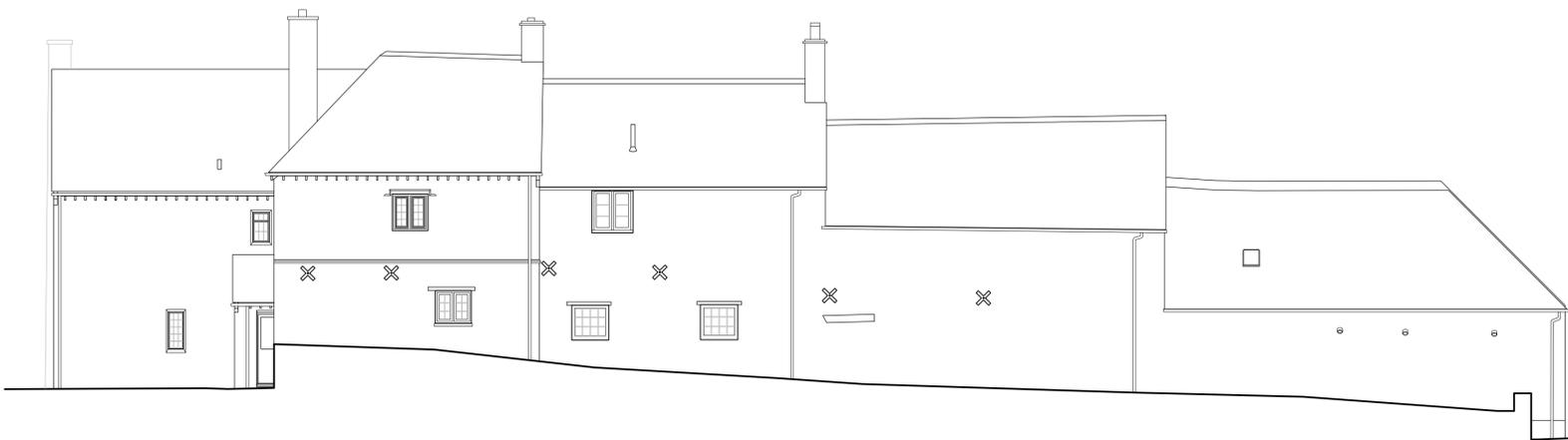
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WEST ELEVATION



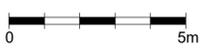
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



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PROJECT:	PRIORY FARMHOUSE, POULTON		
DWG TITLE:	EXISTING ELEVATIONS		
SCALE:	1:100@A1	DRAWN:	CHECKED:
DWG NO:	19.062.05	REV:	DATE: JAN 2020

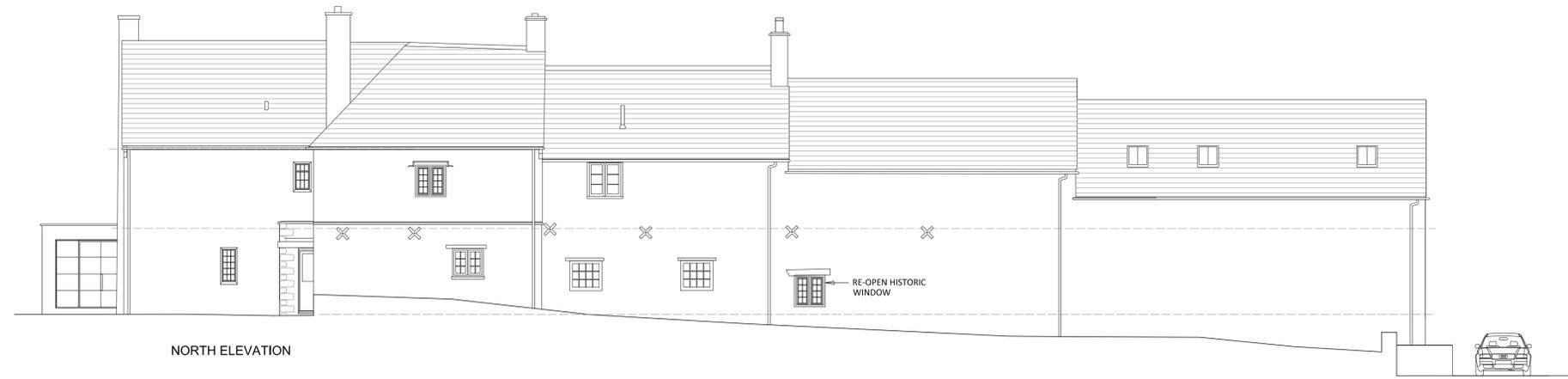
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ELEVATION ENHANCEMENTS:

- Exposed rafter feet to be removed, traditional eaves detail reinstated.
- Plastic gutters and rainwater pipes to be replaced with cast iron or aluminum.
- Concrete lintels and window surrounds to be replaced with natural stone.
- Incongruent areas of pointing to be removed and the walls repointed with an appropriate lime mortar.
- Patches of modern materials (brick, concrete block etc) used to patch repair the stonework are to be replaced with natural stone.
- All plastic fittings (vents, soil pipes etc) to be replaced with appropriate and traditional metal versions.



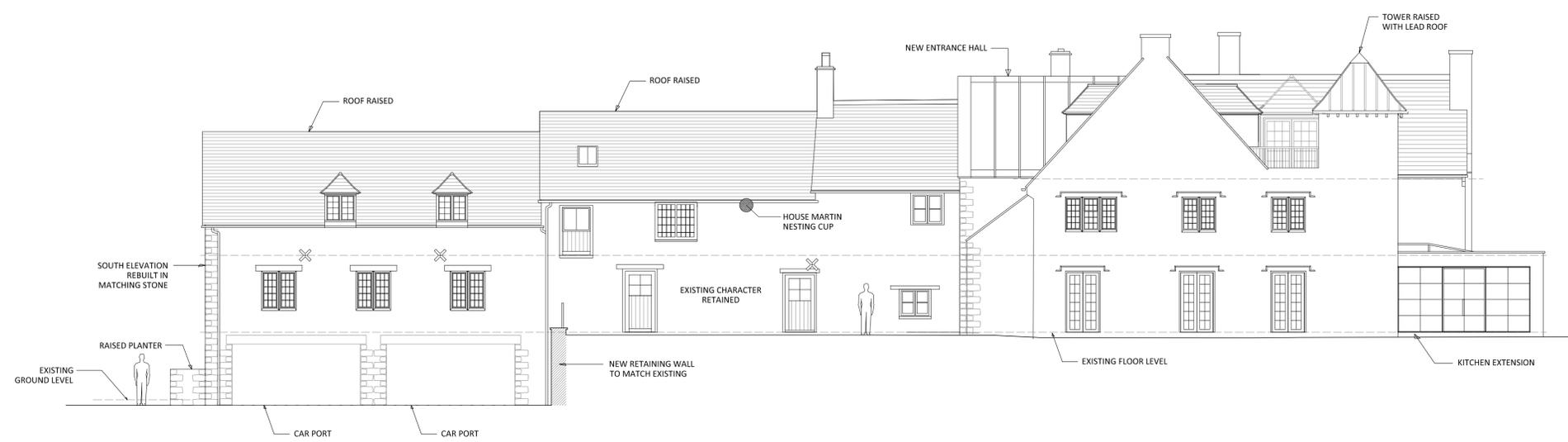
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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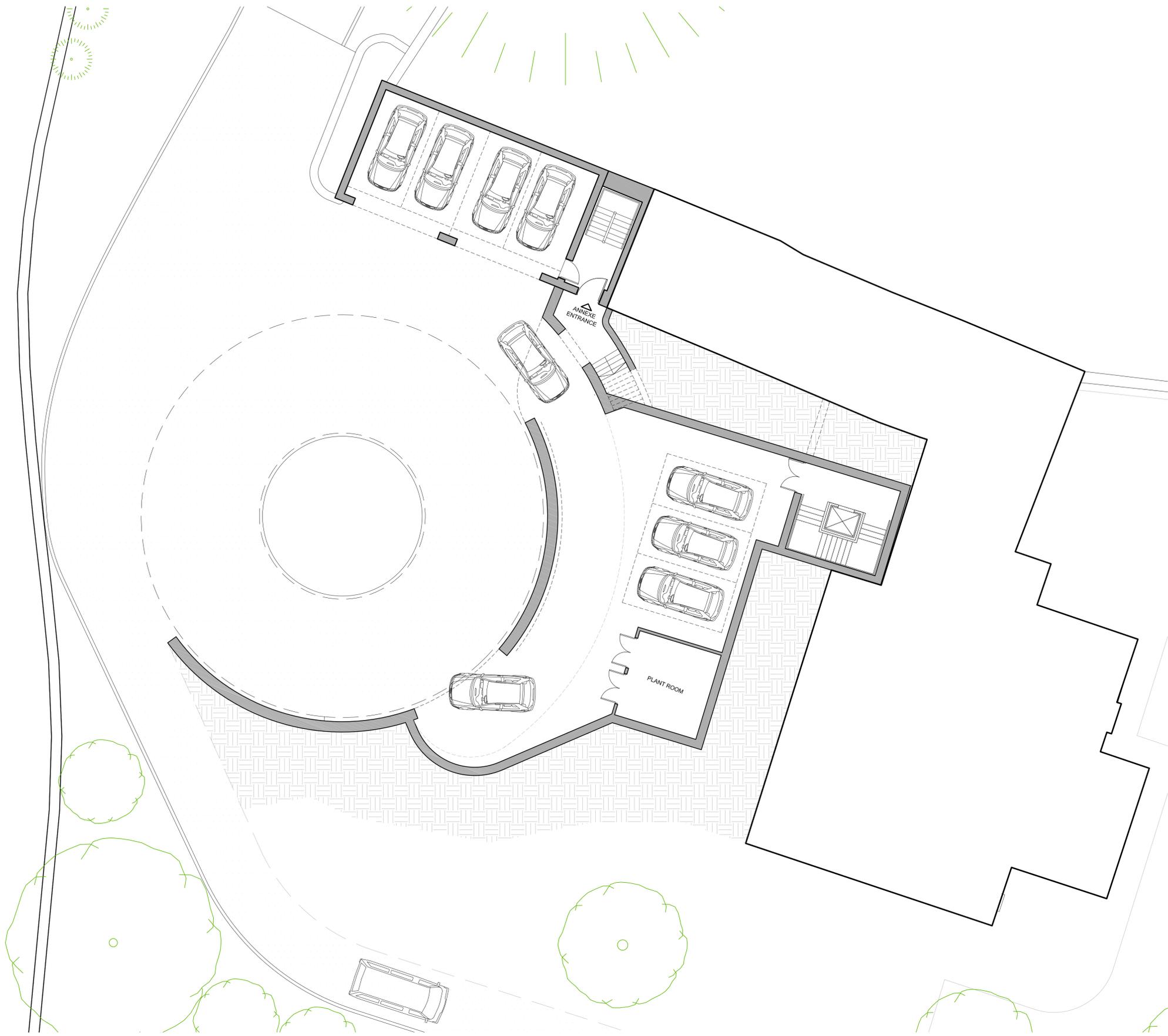
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PROJECT:	PRIORY FARMHOUSE		
DWG TITLE:	PROPOSED REVISED ELEVATIONS		
SCALE:	1:100@A1	DRAWN: JD	CHECKED:
DWG NO:	19.062.10	REV: A	DATE: SEP 2020

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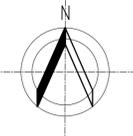
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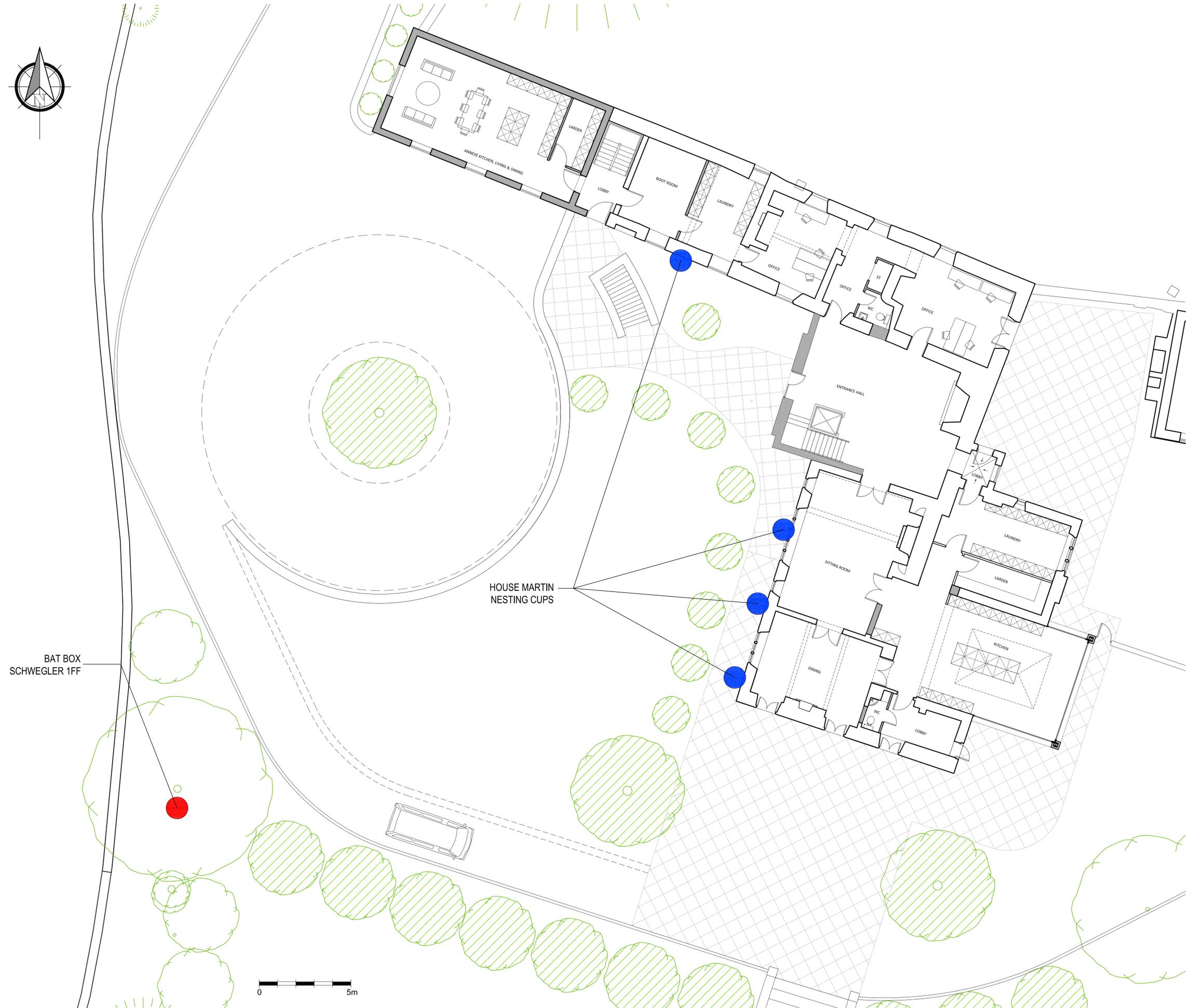
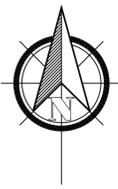
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LOWER GROUND FLOOR PLAN



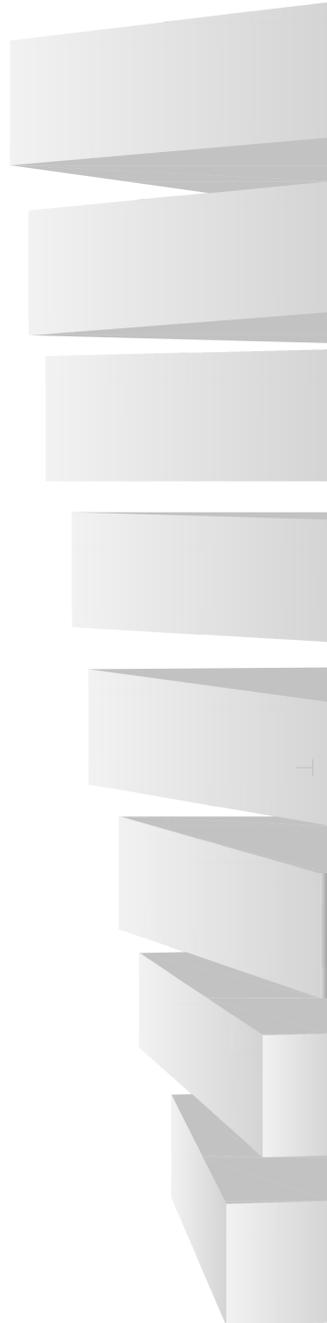
PROJECT:	PRIORY FARMHOUSE, POULTON		
DWG TITLE:	LOWER GROUND FLOOR PLAN		
SCALE:	1:100@A1	DRAWN:	CHECKED:
DWG NO:	19.062.07	REV:	A DATE: SEP 2020



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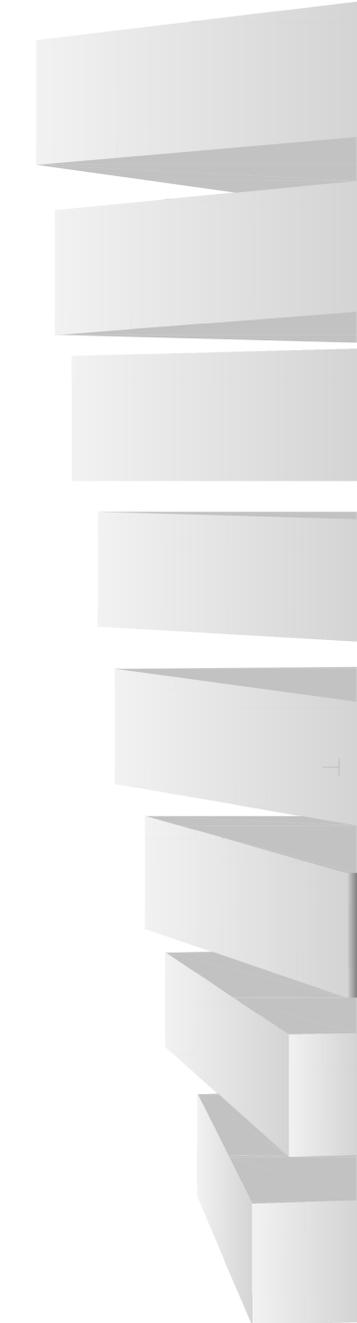
PROJECT:	PRIORY FARMHOUSE, POULTON
DWG TITLE:	PROPOSED GROUND FLOOR
SCALE:	1:100@A1
DWG NO:	19.062.08
DRAWN:	CHECKED:
REV:	C
DATE:	SEP 2020

GROUND FLOOR PLAN

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PROJECT:	PRIORY FARMHOUSE, POULTON		
DWG TITLE:	PROPOSED FIRST & SECOND FLOORS		
SCALE:	1:100@A1	DRAWN:	CHECKED:
DWG NO.:	19.062.09	REV.:	D DATE: APRIL 21